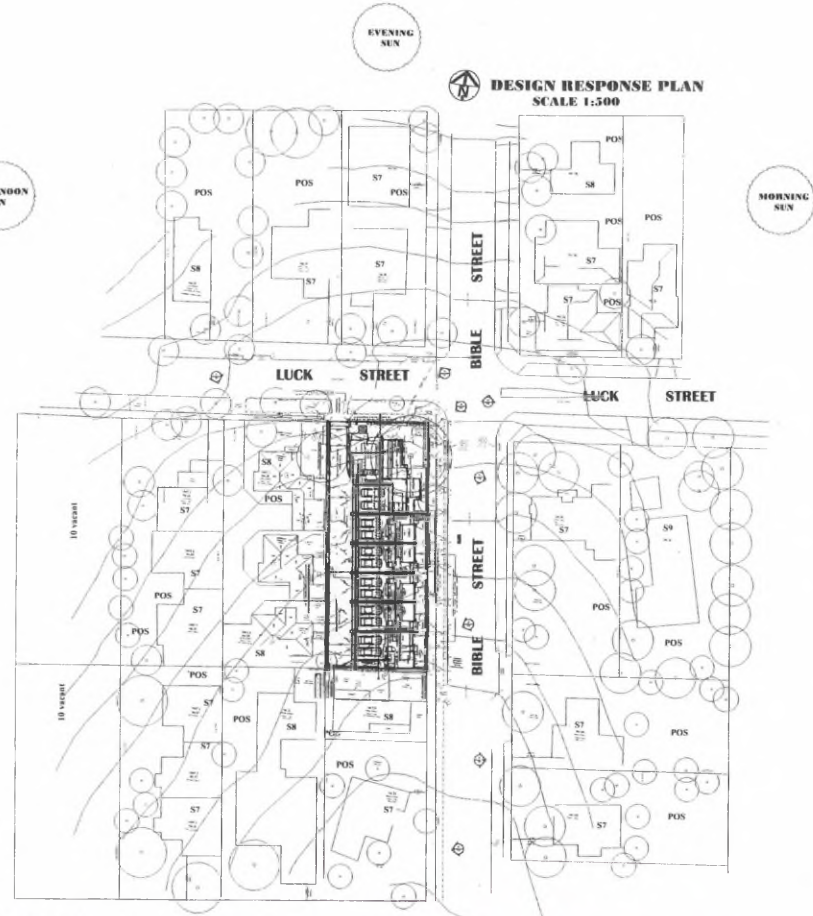


LEGEND

- 1. ADDING BY RESIDENCY
- 2. ADDING W/R RESIDENCE
- 3. ADDING HEADROD BY
- 10. VACANT LAND
- S. SINGLE STOREY
- D. DOUBLE STOREY
- T. TRIPPLE STOREY
- V. VERANDAH
- PER. PERGOLA
- SH. SHED
- G. GARAGE
- CP. CAR PORT
- CS. CAR SPACE
- PF. PAULING FENCE
- SF. STEEL FENCE
- BF. BRICK FENCE
- CF. CONCRETE FENCE
- NF. NO FENCE
- TF. TIMBER FENCE
- FF. FOLIAGE FENCE
- EX. EXISTING VARIOUS & CROSSING
- 5.25m SET BACK
- P.O.S. - private open space
- (HW) HABITABLE WINDOWS
- (NHW) NON HABITABLE WINDOWS
- P.F. POWER POLE
- EXISTING TREES

NOTE: SITE IS SLOPED
 NOTE: ADJACENT P.O.S TO BE PROTECTED FROM OVER VIEWING WITH A 1000mm THICK PAULING FENCE.
 NOTE: MATERIALS, COLOURS AND TEXTURES ARE SELECTED TO HIGHLIGHT THE ARCHITECTURAL FORMS AND REFLECT THE ADJACENT DWELLINGS.
 NOTE: BREAK UP LARGE FORMS WITH REGULATED DIMENSIONS IN PLAN AND ELEVATION, TO MAINTAIN A SCALE RELEVANT TO THE ADJOINING BUILDING.



PICTURE 01



PICTURE 02



PICTURE 03



PICTURE 04



PICTURE 05



ADVERTISED PLAN

Plan: of 10
 Application No: 424/2017/03P

'This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.'



PICTURE 06

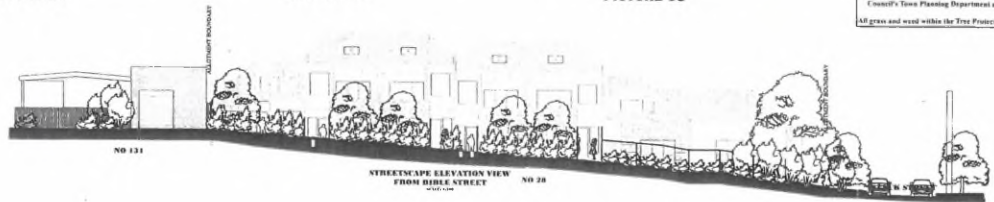


PICTURE 07



PICTURE 08

Prior to commencement of works, the following provisions relating to the protection of existing trees must be undertaken to the satisfaction of the Responsible Authority:
 (i) A suitable Tree Protection Zone of 2.0m radius with barrier fence must be established around the street trees on the Luck St. Street frontage.
 (ii) The Protection Zone must be enclosed using a 2 metre high temporary cyclone fence or similar which must remain in place through all stages of the development. This fence must not reduce the footpath, which must be kept clear for pedestrian access, and a sign must be erected on the fence indicating that the fence is a Tree Protection Zone.
 (iii) The Area within the Tree Protection Zone must not be disturbed by any means including, parking of vehicles or storage of plant and equipment, materials, soil or waste.
 (iv) No excavation is allowed within the Tree Protection Zone except with the consent of Council's Tree Planning Department and under the supervision of a qualified Arborist.
 All grass and weed within the Tree Protection Zone must be removed and the area mulched and covered.



NILLUMBIK SHIRE COUNCIL
 PLANNING SERVICES
 29 JAN 2018
 RECEIVED

residential dev.
 46
 38 Luck Street, Ebbw
 R.P. Home Developments Pty Ltd
 R.P. HOME DEVELOPMENTS PTY LTD
 14.12.2017 AS NOTED
 UNIT development
 01

UNIT 1	UNIT 2	UNIT 3	UNIT 4	UNIT 5	UNIT 6	UNIT 6	AREA ANALYSIS
AREA: ground floor: 89.01m ² porch: 4.57m ² deck: 13.66m ² garage: 35.15m ² upper living: 76.65m ² balcony: 5.29m ² TOTAL: 230.88m ²	AREA: ground floor: 28.28m ² porch: 2.11m ² deck: 10.17m ² garage: 39.68m ² upper living: 55.18m ² balcony: 8.75m ² second floor: 50.27m ² TOTAL: 184.45m ²	AREA: ground floor: 28.77m ² porch: 1.96m ² deck: 39.68m ² garage: 39.68m ² upper living: 53m ² balcony: 8.23m ² second floor: 50.73m ² TOTAL: 184.39m ²	AREA: ground floor: 28.28m ² porch: 1.96m ² deck: 40.17m ² garage: 39.68m ² upper living: 53m ² balcony: 8.23m ² second floor: 50.73m ² TOTAL: 184.39m ²	AREA: ground floor: 28.77m ² porch: 1.96m ² deck: 19.68m ² garage: 19.68m ² upper living: 53m ² balcony: 8.23m ² second floor: 50.73m ² TOTAL: 183.93m ²	AREA: ground floor: 40.78m ² porch: 1.67m ² deck: 38.9m ² garage: 38.9m ² upper living: 60.69m ² TOTAL: 142.04m ²	AREA: ground floor: 40.78m ² porch: 1.67m ² deck: 38.9m ² garage: 38.9m ² upper living: 60.69m ² TOTAL: 142.04m ²	SITE AREA: 975m ² BUILT UP AREA: 492.53m ² CONCRETE AREA (212.55m ²) - 705 (8m) SITE COVERAGE: 50.5% PERMEABILITY: 27.68%

WSUD TREATMENT NOTES

1. WSUD COMPONENTS HAVE BEEN DESIGNED USING THE 'BEST' AVAILABLE PRACTICE. THE PROPOSED TREATMENT TRAIN CONSISTS AS A 42m x 5m long meadow and 6 x 3000mm rainwater tanks for every unit and generic sized 60 litre treatment train components (see view plan of structure). (NOTE: see attached report with diagram indicating the treatment train and also rainwater tanks)



PLEASE REFER TO STORM WADING REPORT FOR ALL NEARBY (100) TREATMENTS AND ALSO DIAGRAMS PREPARED BY CONSULTANT AS SHOWN IN THE REPORT.

PLEASE REFER TO REPORT FOR THE CONNECTION DETAILS OF RAINWATER TANKS, INFILTRATION AND SWATHWATER TRENCHES TO BE CONFIRMED ON SITE.

NOTE:
 1. The construction of any of the following provisions is subject to the approval of the relevant authority...
 2. The proposed plan must be submitted to the relevant authority...
 3. The proposed plan must be submitted to the relevant authority...
 4. The proposed plan must be submitted to the relevant authority...

NILLUMBIK THE GREEN WOOD SHIRE

ADVERTISED PLAN

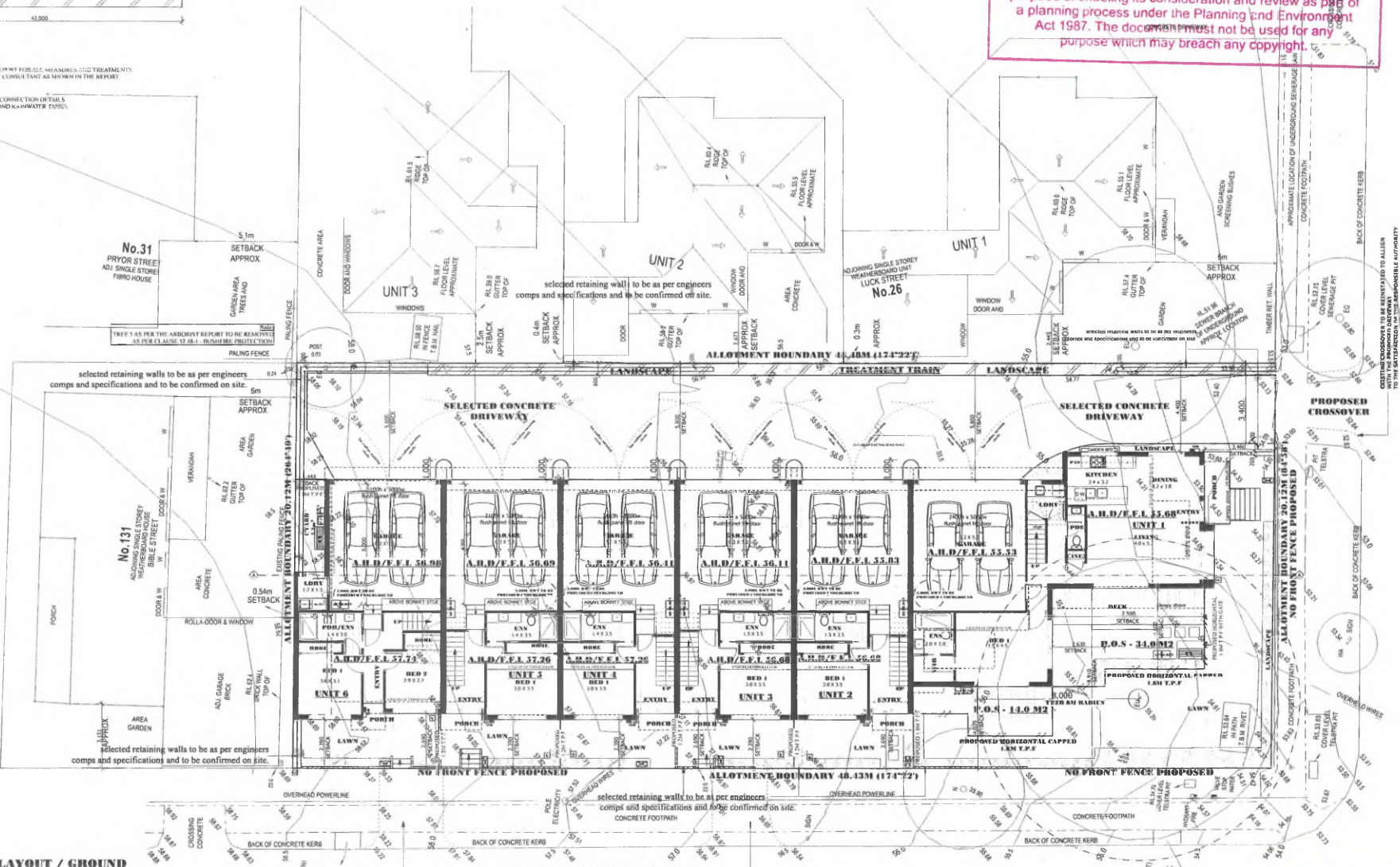
Plan: 2 of 10

Application No: 424/2017/03P

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

- LEGEND**
- [Symbol] LETTER BOX
 - [Symbol] HOT WATER SERVICE
 - [Symbol] METER BOX
 - [Symbol] RAINWATER TANK
 - [Symbol] RECESSED WASH
 - [Symbol] SCHEDULED WASH
 - [Symbol] UNSTABLE WINDOW
 - [Symbol] NON PERMEABLE WINDOW
 - [Symbol] CASHEMER
 - [Symbol] CLOTHES LINE
 - [Symbol] RAIN WATER TANK
 - [Symbol] AIR CONDITIONING UNIT
 - [Symbol] SOLAR PANELS

NOTE: SITE IS SLOPED
 1. ALL FLOORING SHALL BE PROTECTED FROM WATER DAMAGE WITH A 10MM THICK POLYURETHANE
 2. ALL WALLS, CEILING AND TEXTURES ARE TO BE PROTECTED FROM WATER DAMAGE WITH A 10MM THICK POLYURETHANE
 3. ALL FLOORING SHALL BE PROTECTED FROM WATER DAMAGE WITH A 10MM THICK POLYURETHANE
 4. ALL FLOORING SHALL BE PROTECTED FROM WATER DAMAGE WITH A 10MM THICK POLYURETHANE



28 LUCK STREET

SITE LAYOUT / GROUND FLOOR PLAN
 SCALE 1:100

BIBLE STREET

NILLUMBIK SHIRE COUNCIL PLANNING SERVICES
 29 JAN 2018
 RECEIVED

residential dev.
 A6
 28 Luck Street, Etham
 R.P. Home Developments Pty Ltd

R.P. HOME DEVELOPMENTS PTY LTD
 14.12.2017 AS NOTED
 Unit development
 Drawing No 02

UNIT 1	UNIT 2	UNIT 3	UNIT 4	UNIT 5	UNIT 6	AREA ANALYSIS
AREA: 89.01m ² 0.38sq	AREA: 28.28m ² 1.04sq	AREA: 28.77m ² 1.09sq	AREA: 28.28m ² 1.04sq	AREA: 28.77m ² 1.09sq	AREA: 40.76m ² 1.48sq	SITE AREA: 975m ² BUILT UP AREA: 492.51m ² CONCRETE AREA (212.55m ²) = 70.58m ² SITE COVERAGE: 50.9% PERMEABILITY: 27.68%
ground floor: 4.57m ² 0.17sq	ground floor: 2.11m ² 0.23sq	ground floor: 1.96m ² 0.21sq	ground floor: 1.96m ² 0.21sq	ground floor: 1.96m ² 0.21sq	ground floor: 1.67m ² 0.17sq	
porch: 13.66m ² 1.47sq	porch: 40.17m ² 4.25sq	porch: 39.68m ² 4.27sq	porch: 40.17m ² 4.25sq	porch: 39.68m ² 4.27sq	porch: 38.9m ² 4.18sq	
garage: 35.15m ² 3.78sq	upper living: 55.18m ² 5.94sq	upper living: 55m ² 5.92sq	upper living: 55m ² 5.92sq	upper living: 55m ² 5.92sq	upper living: 60.69m ² 6.53sq	
balcony: 5.79m ² 0.56sq	balcony: 8.25m ² 0.88sq	balcony: 8.25m ² 0.88sq	balcony: 8.25m ² 0.88sq	balcony: 8.25m ² 0.88sq		
balcony 2: 6.55m ² 0.7sq	second floor: 50.27m ² 5.41sq	second floor: 50.73m ² 5.46sq	second floor: 50.73m ² 5.46sq	second floor: 50.73m ² 5.46sq	second floor: 50.27m ² 5.41sq	
TOTAL: 230.88m ² 24.85sq	TOTAL: 184.45m ² 19.86sq	TOTAL: 184.39m ² 19.85sq	TOTAL: 184.39m ² 19.85sq	TOTAL: 184.39m ² 19.85sq	TOTAL: 142.04m ² 15.28sq	TOTAL: 1110.88m ² 119.491sq

NOTE:
 1. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROVISION OF PUBLIC UTILITY SERVICES AND TO PROVIDE TO THE LOCAL AUTHORITY THE NECESSARY INFORMATION TO THE LOCAL AUTHORITY.
 2. A SEWER FROM PROPERTY 110/120 LUCK STREET SHALL BE INSTALLED TO THE PROPERTY FROM THE 110/120 LUCK STREET SEWER.
 3. THE PROPERTY LINE SHALL BE DETERMINED BY A SURVEYOR. THE PROPERTY LINE SHALL BE DETERMINED BY A SURVEYOR.
 4. THE PROPERTY LINE SHALL BE DETERMINED BY A SURVEYOR.
 5. THE PROPERTY LINE SHALL BE DETERMINED BY A SURVEYOR.
 6. THE PROPERTY LINE SHALL BE DETERMINED BY A SURVEYOR.
 7. THE PROPERTY LINE SHALL BE DETERMINED BY A SURVEYOR.
 8. THE PROPERTY LINE SHALL BE DETERMINED BY A SURVEYOR.
 9. THE PROPERTY LINE SHALL BE DETERMINED BY A SURVEYOR.
 10. THE PROPERTY LINE SHALL BE DETERMINED BY A SURVEYOR.

- LEGEND**
- LETTER BOX
 - HOT WATER SYSTEM
 - BURIED BOX
 - RECYCLE BIN
 - HABITABLE WINDOW
 - NON HABITABLE WINDOW
 - CASSETTE
 - CLOSET LINE
 - BATH WATER TANK
 - AIR CONDITIONING/HEATING UNIT
 - SOLAR PANELS

NILLUMBİK
THE GREEN WEDGE SHIRE

ADVERTISED PLAN

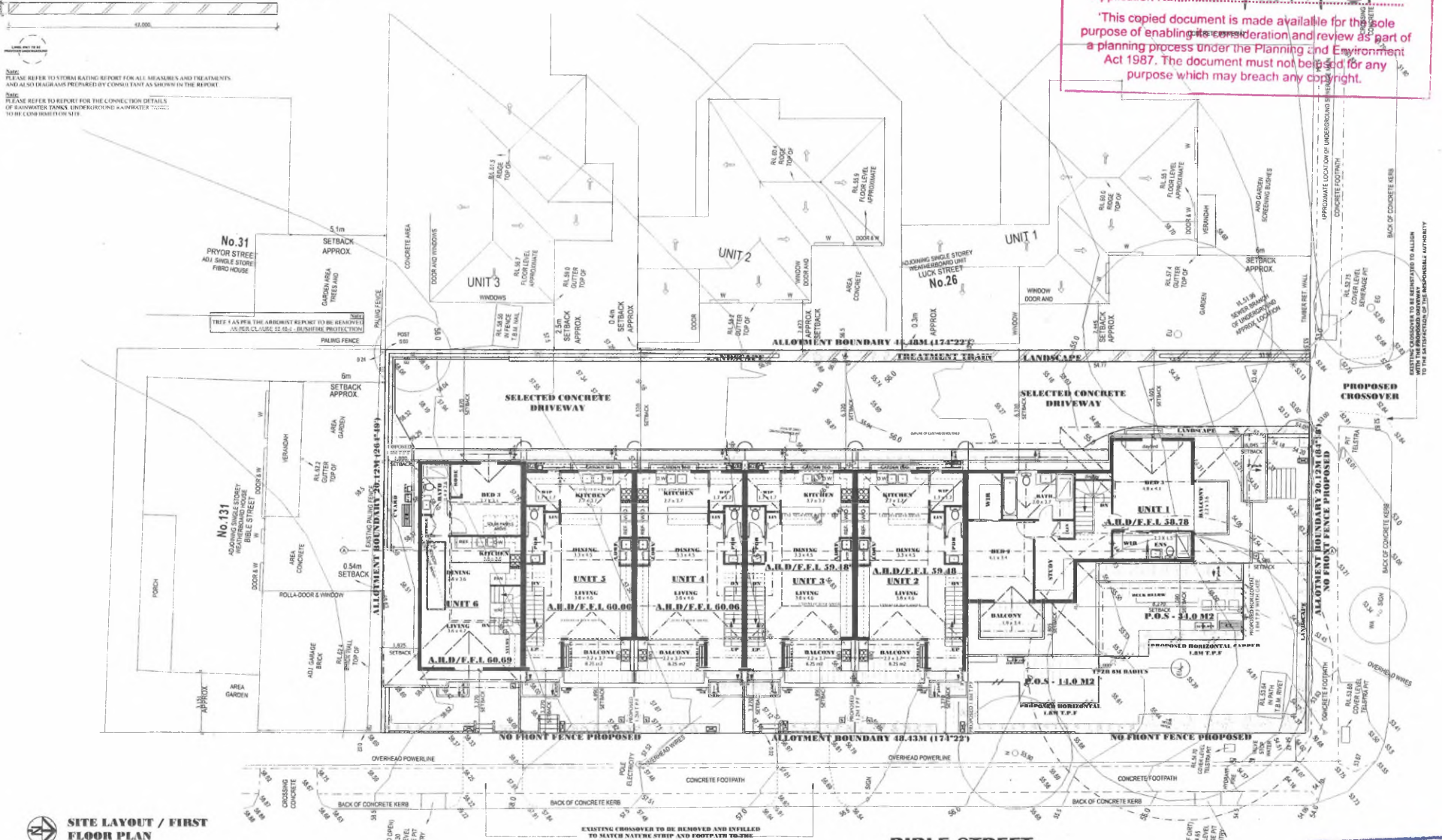
Plan: **3** of **10**

Application No: **424/2017/03P**

*This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

WSD TREATMENT NOTES

NOTE:
 WSD components have been sized using the MSSE, Inpact program. The proposed treatment train consists of a 42m x 4m long tank and a 30000 litre water tank for every unit to provide an average retention time of 2 hours.
 1. ALL WSD COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS AND ALL WSD COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS.
 2. ALL WSD COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS.
 3. ALL WSD COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS.
 4. ALL WSD COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS.
 5. ALL WSD COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS.
 6. ALL WSD COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS.
 7. ALL WSD COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS.
 8. ALL WSD COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS.
 9. ALL WSD COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS.
 10. ALL WSD COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS.



SITE LAYOUT / FIRST FLOOR PLAN
SCALE 1:100

28 LUCK STREET

BIBLE STREET

NILLUMBİK SHIRE COUNCIL
PLANNING SERVICES
29 JAN 2018

28 Luck Street, Eitham
R.P.HOME DEVELOPMENTS PT LTD
14.12.2017 AS NOTED
UNIT Development
93

DECLINED

UNIT 1	UNIT 2	UNIT 3	UNIT 4	UNIT 5	UNIT 6	AREA ANALYSIS
AREA: 89.01m ² ground floor: 89.01m ² porch: 4.57m ² deck: 13.66m ² garage: 35.15m ² upper living: 76.65m ² balcony 2: 6.55m ²	AREA: 28.28m ² ground floor: 28.28m ² porch: 2.11m ² garage: 40.17m ² upper living: 55.18m ² balcony: 8.25m ² second floor: 50.27m ²	AREA: 28.77m ² ground floor: 28.77m ² porch: 1.96m ² garage: 40.17m ² upper living: 55m ² balcony: 8.25m ² second floor: 50.73m ²	AREA: 28.28m ² ground floor: 28.28m ² porch: 1.96m ² garage: 40.17m ² upper living: 55m ² balcony: 8.25m ² second floor: 50.73m ²	AREA: 28.77m ² ground floor: 28.77m ² porch: 1.96m ² garage: 39.68m ² upper living: 55m ² balcony: 8.25m ² second floor: 50.27m ²	AREA: 40.79m ² ground floor: 40.79m ² porch: 1.67m ² garage: 38.9m ² upper living: 60.69m ²	SITE AREA: 975m ² BUILT UP AREA: 492.53m ² CONCRETE AREA: (212.55m ²) -705.08m ² SITE COVERAGE: 50.95% PERMEABILITY: 27.68%
TOTAL: 230.88m ²	TOTAL: 184.45m ²	TOTAL: 184.39m ²	TOTAL: 184.39m ²	TOTAL: 183.93m ²	TOTAL: 142.04m ²	TOTAL: 1110.88m ²

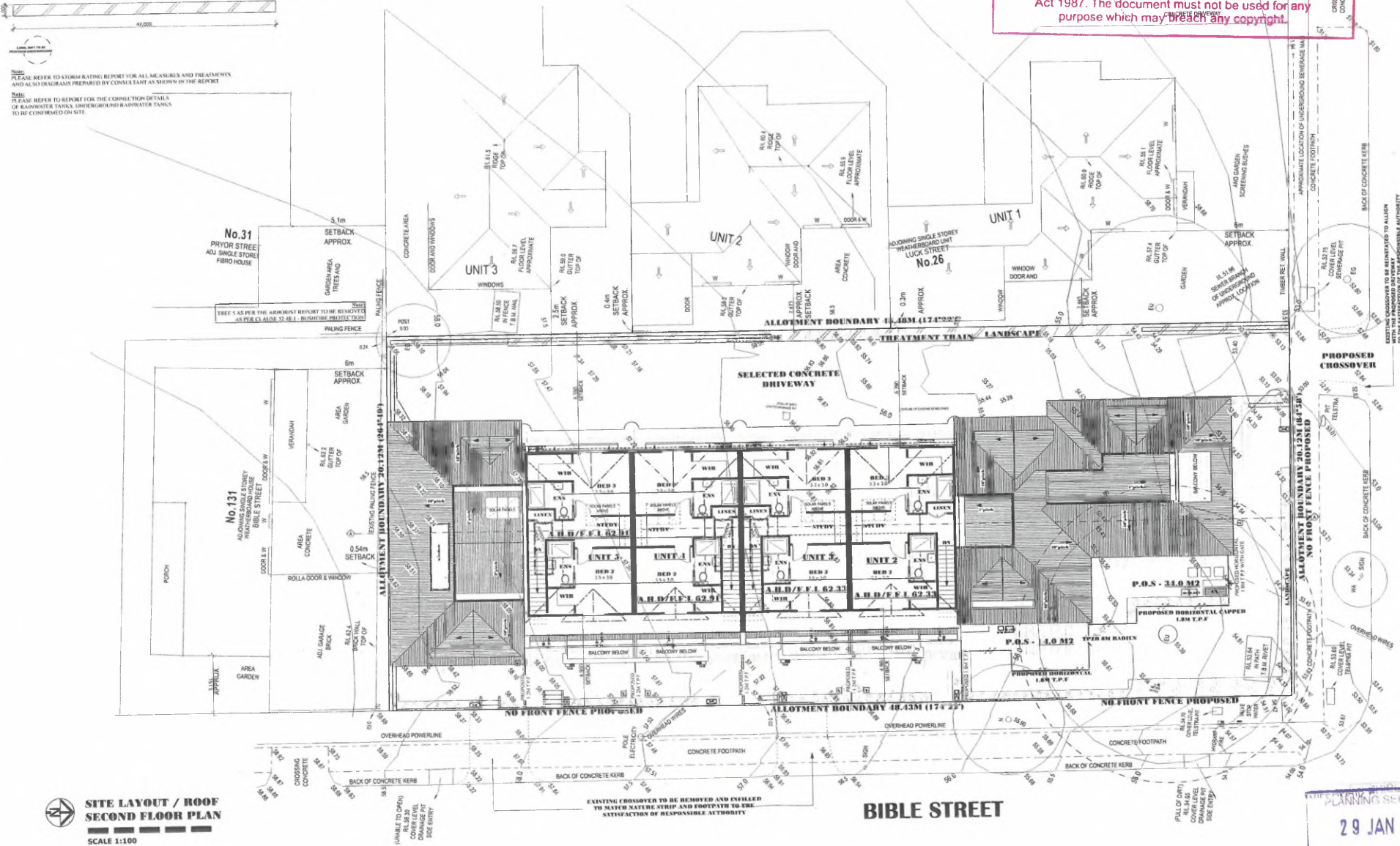
WSUD TREATMENT NOTES

NOTE: WSUD requirements have been noted using the WSUD remediation Program. The proposed treatment train consists of a 45m x 1m long tank, and a 3000m³ rain water tank for every unit to provide onsite drainage treatment before discharging into local point of discharge. Please refer to attached report with diagram indicating the treatment train and flow treatment tanks.



PLEASE REFER TO STORM RATING REPORT FOR ALL MEASURES AND TREATMENTS AND ALSO DIMENSIONS PREPARED BY CONSULTANT AS SHOWN IN THE REPORT

PLEASE REFER TO REPORT FOR THE CONNECTION DETAILS OF RAINWATER TANKS, UNDERGROUND RAINWATER TANKS TO BE CONFIRMED ON SITE.



NILLUMBİK THE GREEN WOODS SIDE

ADVERTISED PLAN

Plan: 4 of 10

Application No: 424/2017/03P

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

- LETTER BOX
- BOSS WATER REFERENCE
- METER BOX
- BOSS BOX
- REC VENT BR
- SHOWER BASKET
- TOILET
- WATER HEATER
- WATER HEATER
- CLOTHES LIP
- RAIN WATER
- AIR CONDIT
- HEATING UNIT
- SOLAR PANEL

28 LUCK STREET

SITE LAYOUT / ROOF SECOND FLOOR PLAN
SCALE 1:100

PLANNING SERVICES
29 JAN 2018
RECEIVED

residential dev.

A6

A6

28 Luck Street, Epping

R.P. Home Developments Pty Ltd

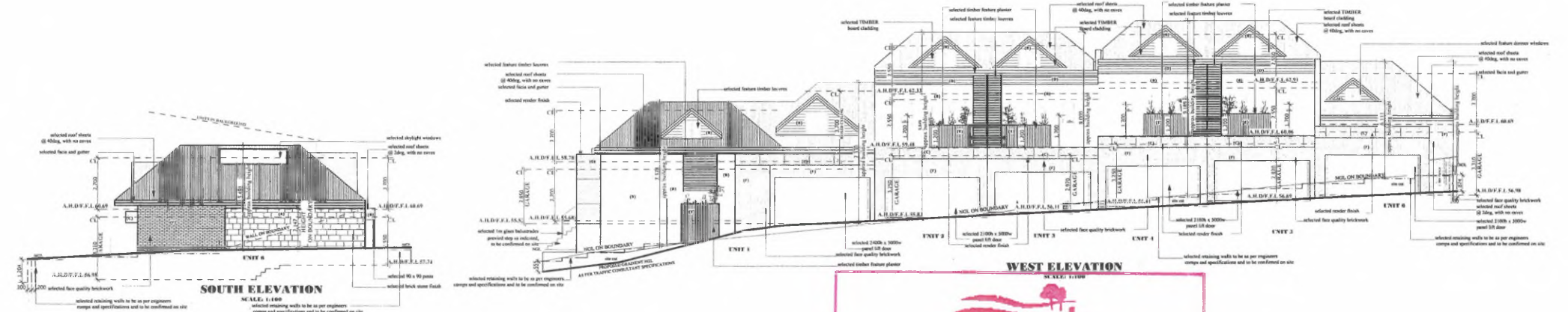
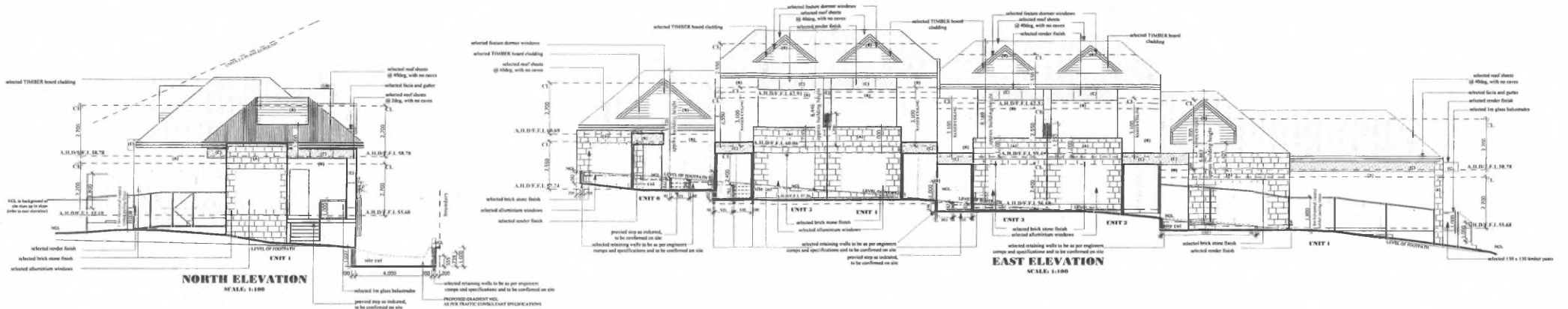
R.P. HOME DEVELOPMENTS PTY LTD


14.12.2017 AS NOTED

041

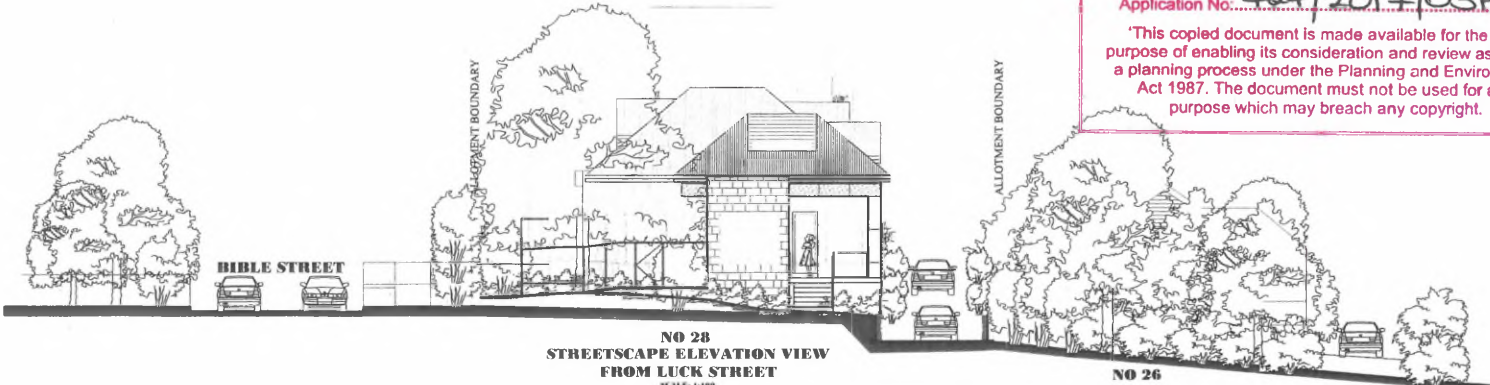
Unit Development

04




NILLUMBIK
 THE GREEN WEDGE SHIRE
ADVERTISED PLAN
 Plan: 5 of 10
 Application No: 424/2017/03P
 'This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.'

NILLUMBIK SHIRE COUNCIL
 PLANNING SERVICES
29 JAN 2018
 RECEIVED

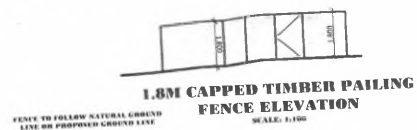
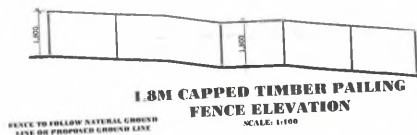
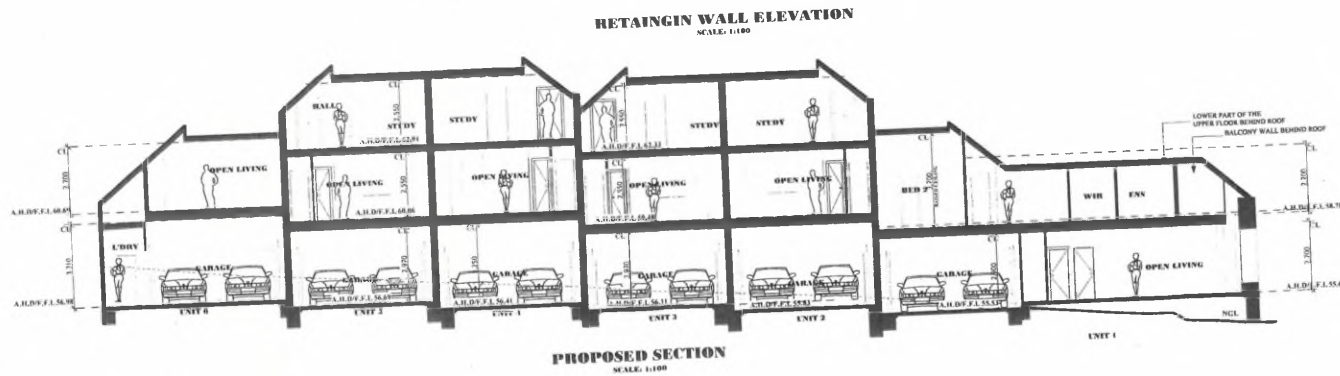
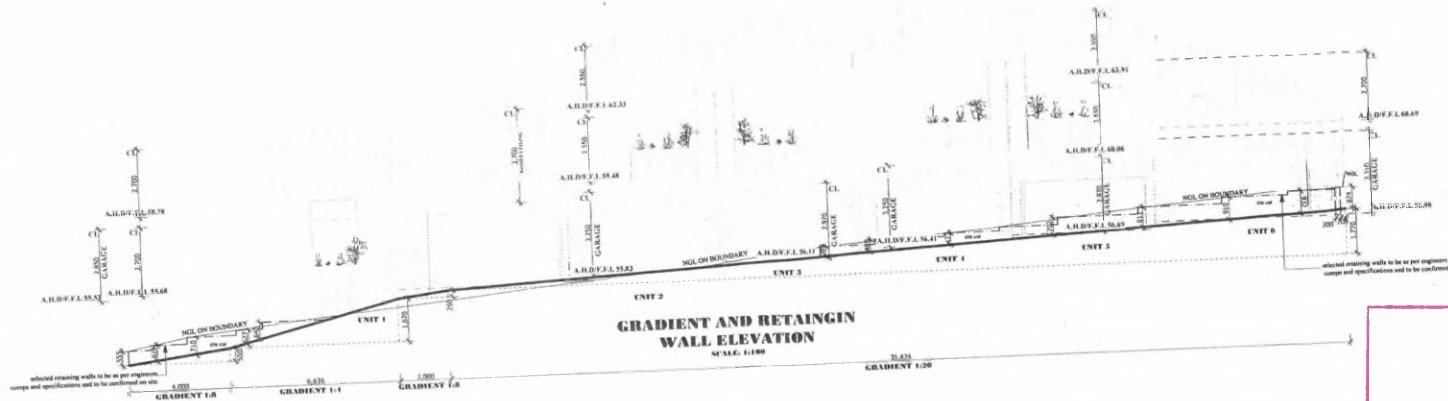


MATERIALS SCHEDULE

ITEM	COLORS
WALLS	(A) New Brick (Browne or similar)
EXTERNAL CURBRY	(B) White Render or similar (C) Grey (D) Timber board - Tropicana Grey or similar (E) Timber board - natural or similar (F) Domestic Black (G) Natural Bricks
WINDOVS / DOORS	POWDERCOAT ALUMINIUM (WHITE TONE)
PAVING / DRIVE	POWDERCOAT (DARK GREY TONE)
CURBS	GREY (CONCRETE)
WALKWAY PAVES	GREY (CONCRETE)
LANDSCAPE	DARK GREY TONE
ROOFING	ASBESTOS FREE CORRUGATED GALVANIZED STEEL
ROOFING PAVING	ASBESTOS FREE CORRUGATED GALVANIZED STEEL

ONS - DENOTES, OBLSCURED WINDOW

Residential dev.
 AS
 28 Luck Street, Epping
 P.O. Box 100
 P.O. Box 100
 P.O. Box 100
R.P. HOME DEVELOPMENTS PTY LTD
 14.12.2017
 AS NOTED
 041
 Unit development
 Planning No
 05



NILLUMBİK
THE GREEN WEDGE SHIRE

ADVERTISED PLAN

Plan:6.....of.....10.....

Application No. **424/2017/03P**

'This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.'

residential dev.
AS NOTED
AS NOTED
28 Luck Street, Uxham
R.P. Home Developments Pty Ltd

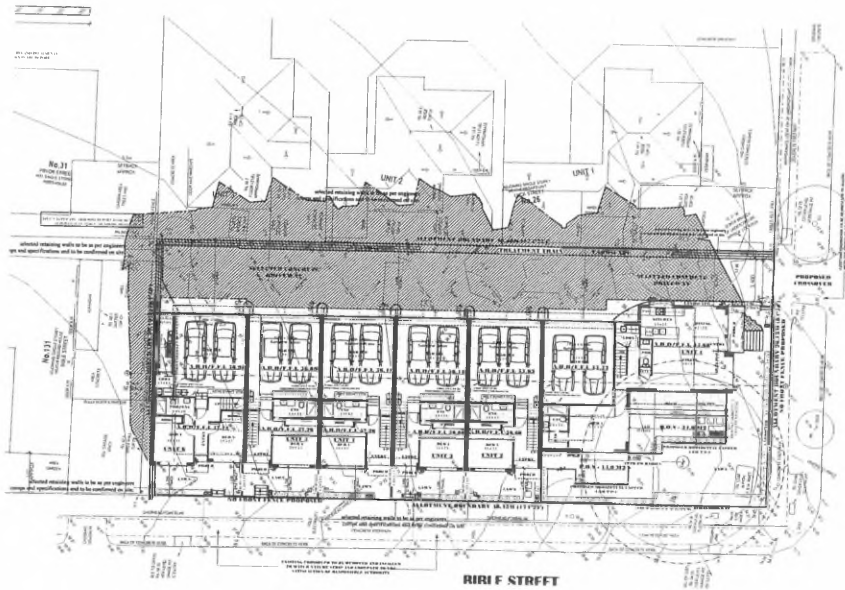
R.P. HOME DEVELOPMENTS PTY LTD

14.1.2017 AS NOTED
Unit Development
06

NILLUMBİK SHIRE COUNCIL
PLANNING SERVICES

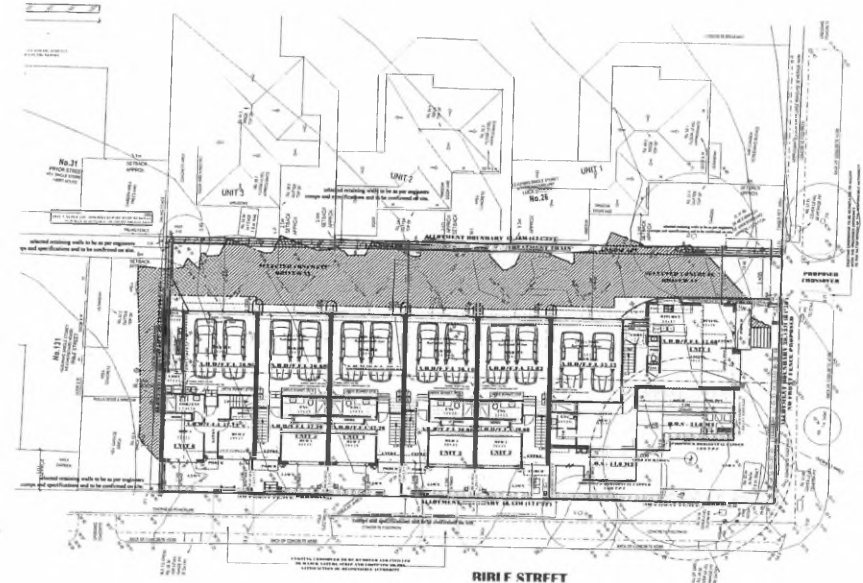
29 JAN 2018

RECEIVED



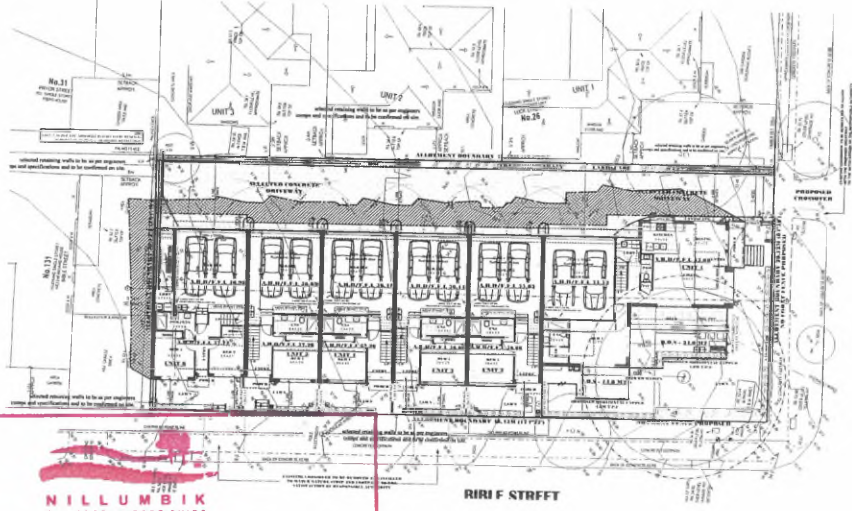
28 LUCK STREET

SUN SHADE DIAGRAM :
SEPTEMBER 22 - 9AM
 SCALE: 1:200



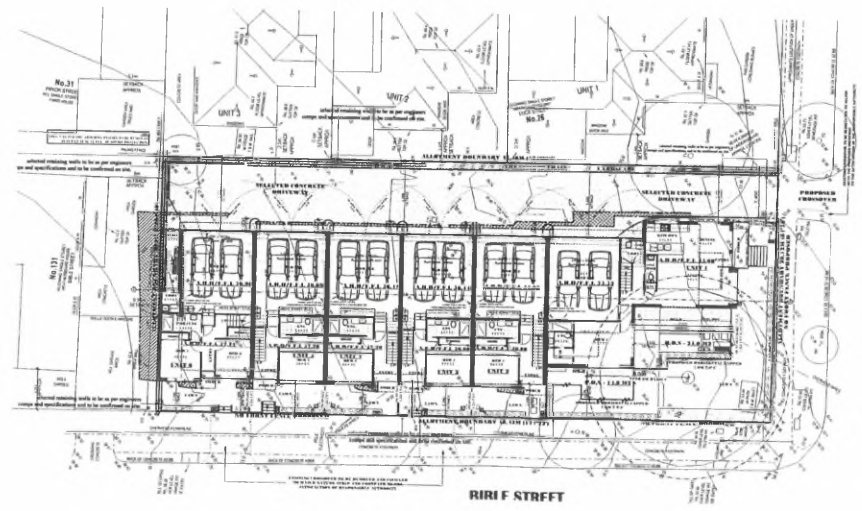
28 LUCK STREET

SUN SHADE DIAGRAM :
SEPTEMBER 22 - 10AM
 SCALE: 1:200



28 LUCK STREET

SUN SHADE DIAGRAM :
SEPTEMBER 22 - 11AM
 SCALE: 1:200



28 LUCK STREET

SUN SHADE DIAGRAM :
SEPTEMBER 22 - 12PM
 SCALE: 1:200

NILLUMBIK
 THE GREEN WEDGE SHIRE
ADVERTISED PLAN

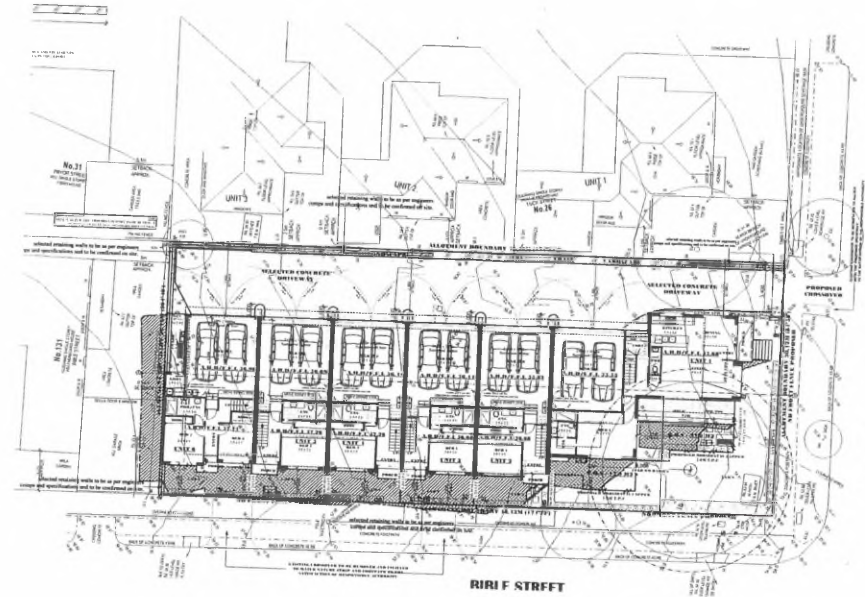
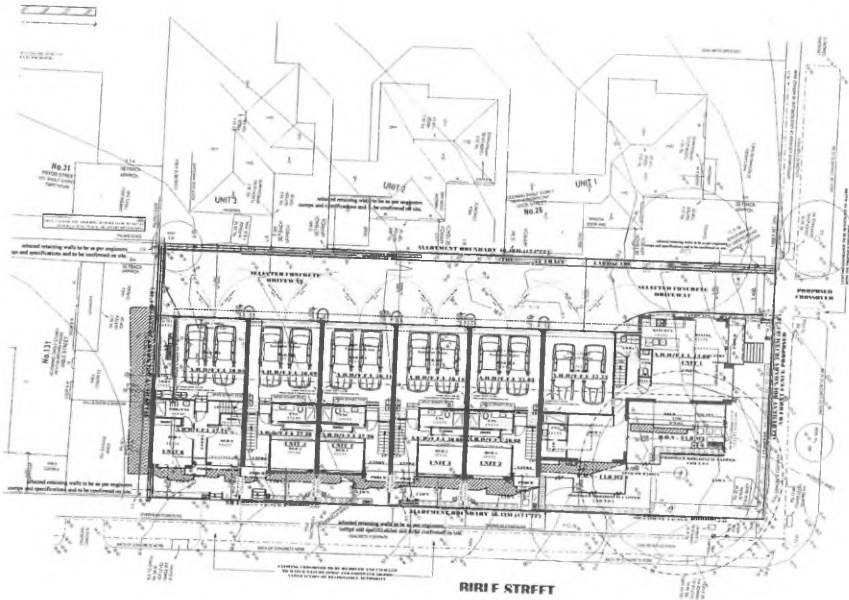
Plan:7.....of.....10.....
 Application No: **424/2017/03P**

'This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.'

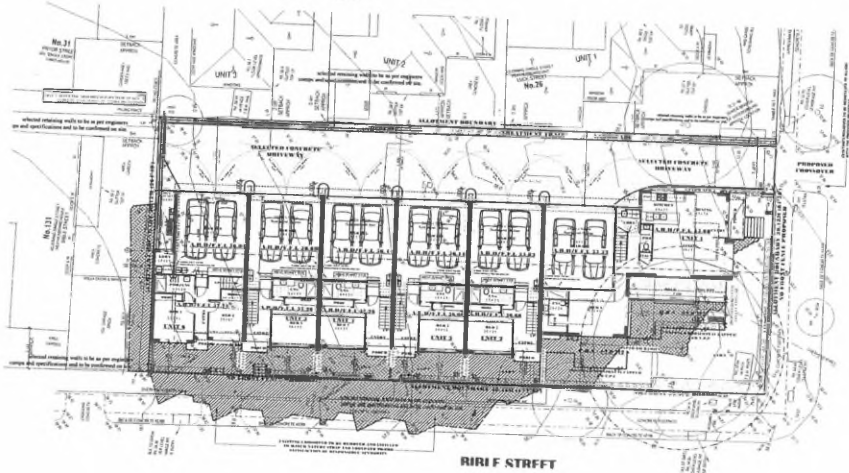
residential dev.
 AR
 28 Luck Street, Eltham
 R.P Home Developments Pty Ltd

R.P HOME DEVELOPMENTS P/L
 14.12.2017 AS NOTED
 041
 07

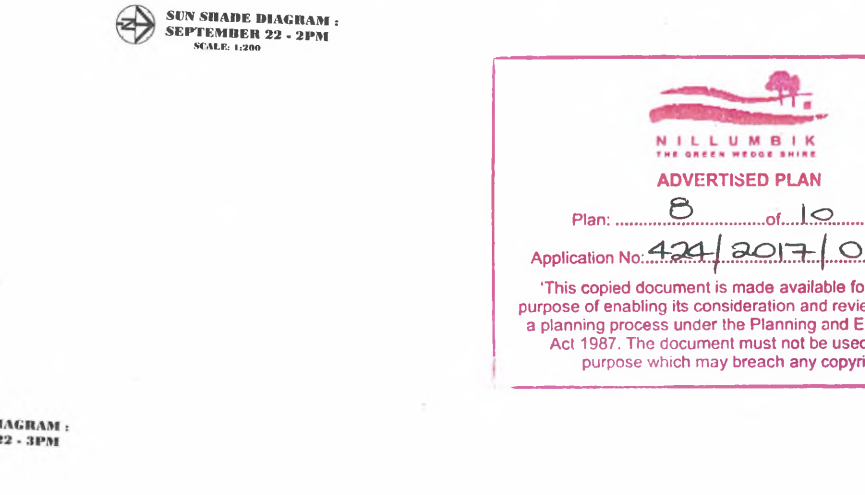
NILLUMBIK SHIRE
 PLANNING SERVICES
29 JAN 2018



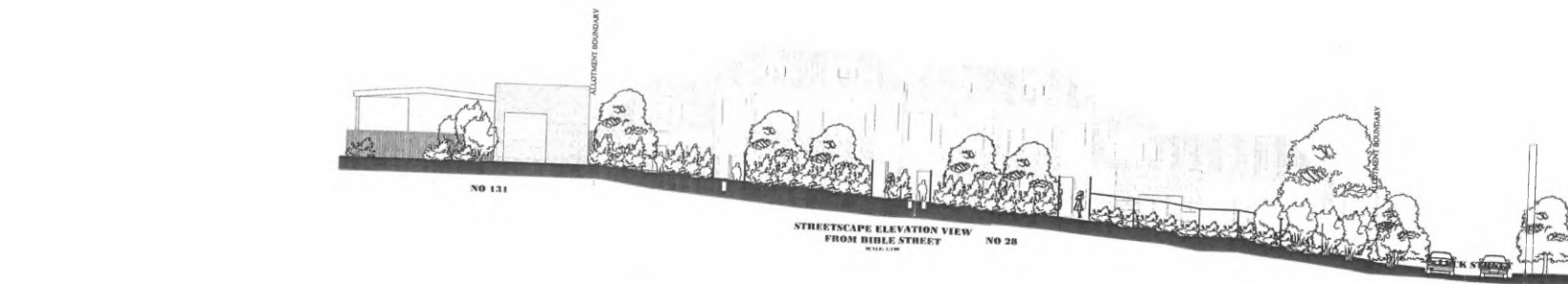
SUN SHADE DIAGRAM :
SEPTEMBER 22 - 1PM
 SCALE: 1:200



SUN SHADE DIAGRAM :
SEPTEMBER 22 - 2PM
 SCALE: 1:200



SUN SHADE DIAGRAM :
SEPTEMBER 22 - 3PM
 SCALE: 1:200

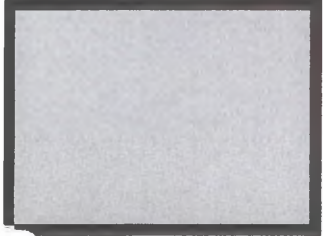



NILLUMBIK
 THE GREEN WEDGE SHIRE
ADVERTISED PLAN
 Plan: 8 of 10
 Application No: 424/2017/03P
 *This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

residential dev.
 48
 28 Luck Street, ENDA
 R.P Home Developments
 Pty Ltd
R.P HOME DEVELOPMENTS P/L
NILLUMBIK SHIRE COUNCIL PLANNING SERVICES
29 JAN 2018
 RECEIVED
 24.02.2017 AS NOTED
 08/1
 08



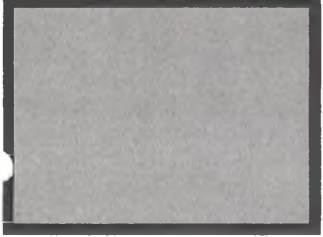
(A) Stone Brick
(Brown or similar)



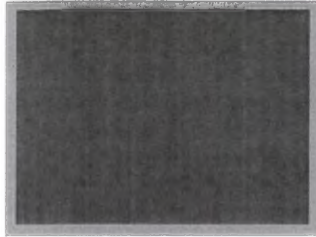
(B) White Render
or similar (dulux)
PAINT USED FOR WEATHERBOARD
SECTION ALSO



(C) Ticking Render
or similar (dulux)



(D) Tapestry Beige Render
or similar (dulux) WEATHERBOARD



(E) Timber board- natural timber or similar



(F) Elements Blackstone (Austral Bricks)

WINDOWS / DOORS
POUDERCOAT ALUMINIUM (WHITE TONE)



PANEL LIFT DOOR
POUDERCOAT (DARK GREY TONE)



Project
residential dev.
Job No
A6
Address
28 Luck Street, Eltham
Proprietor
R.P Home Developments
Pty Ltd

Logo
R.P HOME
DEVELOPMENTS P/L

NILLUMBIK
THE GREEN WEDDIE SHIRE
ADVERTISED PLAN
Plan: 9 of 10
Application No: 424/2017/03P
This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

Date
14.12.2017
Scale
AS NOTED
Title
@A1
Unit development

Drawing No
09

MATERIAL SCHEDULE

NILLUMBIK SHIRE COUNCIL
PLANNING SERVICES
29 JAN 2018
RECEIVED

PLEASE REFER TO 3D RENDERS
FOR THE COLOUR REFLECTIONS